





## Inspection Report



Property Address:



**LDG Home Inspection, LLC**

**Louis J. DiGeambeardino NJ 24GI00177700  
24 Millbridge Road  
Clementon, NJ 08021  
609-374-5648**





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<b>Date:</b> 12/27/2019	<b>Time:</b> 10:00 AM	<b>Report ID:</b> LJD1994
<b>Property:</b> [REDACTED]	<b>Customer:</b> [REDACTED]	<b>Real Estate Professional:</b> [REDACTED]

### Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (IN)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Repair or Replace (RR)** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

### Use of photos and video:

Your report includes many photographs which help to clarify where the inspector went, what was looked at, and the condition of a system or component at the time of the inspection. Some of the pictures may be of deficiencies or problem areas. These are to help you better understand what is documented in this report and may allow you see areas or items that you normally would not see. A pictured issue does not necessarily mean that the issue was limited to that area only, but may be a representation of a condition that is in multiple places. Not all areas of deficiencies or conditions will be supported with photos.

### Permits

Significant renovations were recently completed on the home. Before the end of your inspection deadline, you should check with the appropriate authorities to verify that all required permits, inspections, and/or approvals were completed for any and all work performed on the home or property.

**Standards of Practice:**  
New Jersey Standards of Practice

**In Attendance:**  
Customer and their agent

**Type of building:**  
Single Family (2 story)

**Approximate age of building:**  
Over 25 Years

**Temperature:**  
Below 60 (F) = 15.5 (C)

**Weather:**  
Clear

**Ground/Soil surface condition:**  
Damp

**Rain in last 3 days:**  
Yes

**Radon Test:**  
Yes

**Water Test:**  
No

# 1. Roofing

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

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Roof was covered with asphalt composition shingles. Asphalt shingles must be installed according to the manufacturer's recommendations, which often vary from one manufacturer to another, and also between different shingle models produced by the same manufacturer. Because of the many different installation requirements for the different types of shingles, confirmation of proper installation requires inspection by a qualified specialist and exceeds the scope of the General Home Inspection. Although I will inspect the roof to the best of my ability, The General Home Inspection does not include the use of destructive testing or research. I disclaim responsibility for confirming proper installation and condition of shingles and other roofing components including, but not limited to, underlayment, flashing and fasteners. Confirming by visual inspection any claims of asphalt shingle compliance with any standards lies beyond the scope of the General Home Inspection.



**Styles & Materials**



Roof Covering:

Architectural

Viewed roof covering from:

Drone

Sky Light(s):

None

Chimney (exterior):

Masonry Stucco

		IN	NI	NP	RR
1.0	Roof Coverings	•			
1.1	Flashings	•			
1.2	Skylights, Chimneys and Roof Penetrations				•
1.3	Roof Drainage Systems				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

1.2 (1) Flashing is not properly seated around the furnace flue located on the rear roof of the main home. This can cause moisture intrusion which can damage the underlying structure. This should be repaired by a qualified contractor.

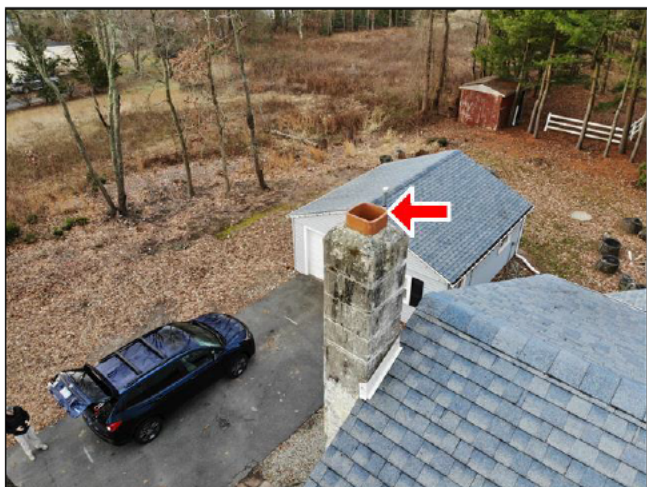


1.2





1.2 (2) The chimney(s) had no spark arrestor/weather cap. The Inspector recommends that all chimneys have an approved spark arrestor/weather cap installed by a qualified contractor to prevent pest entry and to help protect the roof-covering materials from potential chimney-source ignition.



1.2

1.3 Debris visible in the gutters at the time of the inspection should be removed to encourage proper drainage.



1.3

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



2. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or vis bility.

Styles & Materials

Siding Style:

Bevel

Siding Material:

Vinyl

Exterior Entry Doors:

Wood

Appurtenance:

Deck with steps

Driveway:

Asphalt

		IN	NI	NP	RR
2.0	Wall Cladding Flashing and Trim	•			
2.1	Doors (Exterior)	•			
2.2	Windows				•
2.3	Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings				•
2.4	Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)				•
2.5	Eaves, Soffits and Fascias	•			
		IN	NI	NP	RR

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Comments:

2.1 Exterior sliding door at rear of home was difficult to operate this is for your information.



2.1

**2.2** Windows around the exterior of the home were caulked. Caulking usually breaks down over time and can result in moisture intrusion affecting the underlying structure and interior. It is recommended that all windows be maintained on a periodic basis to prevent deterioration. This is a maintenance issue and is for your information.



2.2 left side (facing front)&#160;



2.2 garage&#160;

**2.3 (1)** This staircase at front of home did not meet generally-accepted modern safety standards that specify the proper the size and dimensions of a grippable handrail. It is recommended that one be installed by a qualified contractor.



2.3



2.3 Handrail

**2.3 (2)** The inspector recommends installation of both a guardrail and graspable handrail at the Rear Deck Steps. This is considered a safety hazard as someone can fall from the landing and be injured. Recommend that all work be performed by a qualified contractor.



2.3 rear of home



**2.4 (1)** Downspout is disconnected on rear of home. This should be repaired to allow proper flow of roof drainage away from the foundation perimeter.



2.4

**2.4 (2)** Shrubs have been constructed near the exterior walls. Water for plants/shrubs will eventually soak into soil and may reach soil supporting the foundation. Excessively high moisture levels in soil supporting the foundation can effect its ability to support the weight of the structure above. The Inspector recommends removal of any shrubbery or plants near the foundation or re-planting with vegetation which has low water requirements.



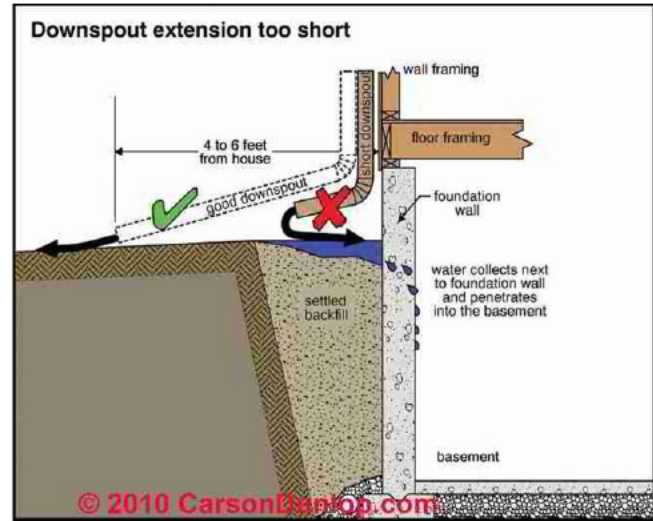
2.4



**2.4 (3)** One or more downspouts discharged roof drainage next to the foundation. This condition can effect the ability of the soil to support the weight of the structure above and can cause damage related to soil/foundation movement. The Inspector recommends the installation of downspout extensions to discharge roof drainage a minimum of 6 feet from the foundation.



2.4



2.4 Downspout Extension

**2.4 (4)** The concrete walkway at the front of home uneven, and can be a tripping hazard. A fall or injury can occur if not corrected. A qualified person should repair or replace as needed.



2.4

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



### 3. Garage

Styles & Materials

Garage Door Type:	Garage Door Material:	Auto-opener Manufacturer:
One manual	Fiberglass	N/A

		IN	NI	NP	RR
3.0	Garage Ceilings	•			
3.1	Garage Walls (including Firewall Separation)	•			
3.2	Garage Floor	•			
3.3	Garage Door (s)	•			
3.4	Occupant Door (from garage to inside of home)			•	
3.5	Garage Door Operators (Report whether or not doors will reverse when met with resistance)			•	
		IN	NI	NP	RR

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4. Interiors

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

<b>Ceiling Materials:</b> Gypsum Board	<b>Wall Material:</b> Gypsum Board	<b>Floor Covering(s):</b> Laminated T&G Tile
<b>Interior Doors:</b> Raised panel	<b>Window Types:</b> Thermal/Insulated Double-hung	<b>Window Manufacturer:</b> UNKNOWN
<b>Cabinetry:</b> Wood	<b>Countertop:</b> Granite	

		IN	NI	NP	RR
4.0	Ceilings	•			
4.1	Walls	•			
4.2	Floors	•			
4.3	Steps, Stairways, Balconies and Railings				•
4.4	Counters and Cabinets (representative number)	•			
4.5	Doors (representative number)	•			
4.6	Windows (representative number)	•			
		IN	NI	NP	RR

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**Comments:**

**4.3** A horizontal guardrail assembly protecting this stairwell had spaces between handrail components that allowed the passage of a 4-inch sphere. To improve child safety, the Inspector recommends altering the guardrail assembly in a manner which will prevent the passage of a 4-inch sphere. This dimension includes areas beneath and to the sides of the guardrail. The Inspector recommends that this condition be updated to meet generally-accepted modern safety standards by a qualified contractor.



4.3

**4.4** Cabinets above the kitchen exhaust fan rubbed upon opening. These should be adjusted for proper opening and closing. This is for your information.



4.4

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 5. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

### Styles & Materials

<b>Foundation:</b> Masonry block	<b>Method used to observe Crawlspace:</b> Unsafe conditions Limited access	<b>Floor Structure:</b> Wood joists
<b>Wall Structure:</b> Not Visible	<b>Columns or Piers:</b> Masonry block	<b>Ceiling Structure:</b> Not visible
<b>Roof Structure:</b> Stick-built	<b>Roof-Type:</b> Gable	<b>Method used to observe attic:</b> Walked what was accessible
<b>Attic info:</b> Pull Down stairs		

		IN	NI	NP	RR
5.0	Foundations, Basement and Crawlspace (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)				•
5.1	Walls (Structural)	•			
5.2	Columns or Piers	•			
5.3	Floors (Structural)	•			
5.4	Ceilings (Structural)	•			
5.5	Roof Structure and Attic				•
		IN	NI	NP	RR

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### Comments:

5.0 Evidence of previous termite treatment where bait was inserted into the concrete block. Recommend treatment for Wood Destroying Insects (WDI) by a qualified contractor.



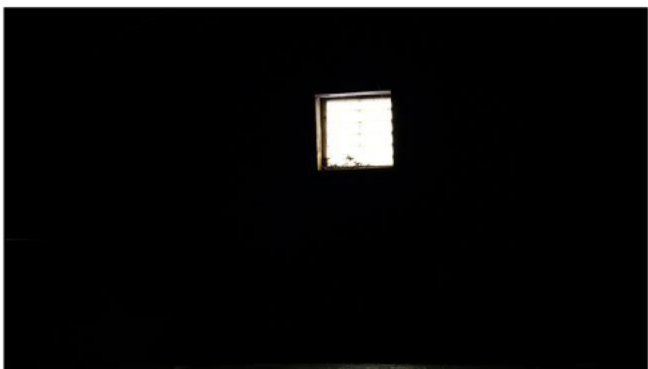
5.0



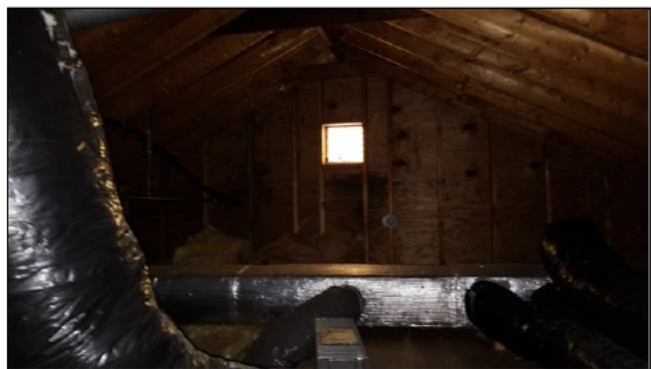
5.5 Gable end sheathing had areas of discoloration near the eaves. This may be due to a prior or active leak or the discoloration may be due to condensation. The inspector recommends that the sheathing be further evaluated by a qualified contractor who can recommend a solution to avoid further deterioration.



5.5



5.5



5.5

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.





## 6. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

### Styles & Materials

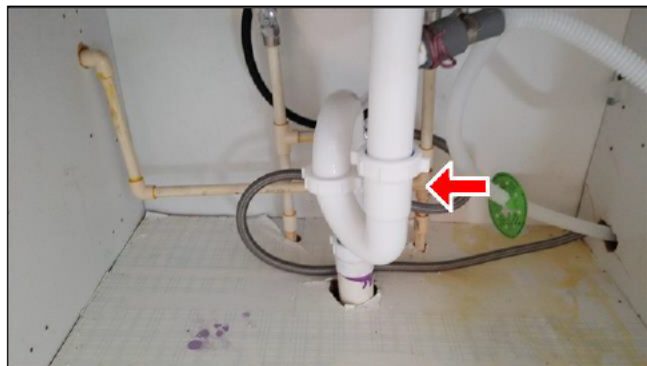
<b>Water Source:</b> Well	<b>Water Filters:</b> (We do not inspect filtration systems)	<b>Plumbing Water Supply (into home):</b> CPVC
<b>Plumbing Water Distribution (inside home):</b> CPVC	<b>Washer Drain Size:</b> 2" Diameter	<b>Plumbing Waste:</b> PVC
<b>Water Heater Power Source:</b> Electric	<b>Water Heater Capacity:</b> 40 Gallon (1-2 people)	<b>Water Heater Location:</b> Crawlspace
<b>Water Heater Brand:</b> Bradford-White		

		IN	NI	NP	RR
6.0	Plumbing Drain, Waste and Vent Systems				•
6.1	Plumbing Water Supply, Distribution System and Fixtures				•
6.2	Hot Water Systems, Controls, Chimneys, Flues and Vents	•			
6.3	Main Water Shut-off Device (Describe location)	•			
6.4	Fuel Storage and Distribution Systems (Interior fuel storage, piping, venting, supports, leaks)				•
6.5	Main Fuel Shut-off (Describe Location)	•			
6.6	Sump Pump			•	
		IN	NI	NP	RR

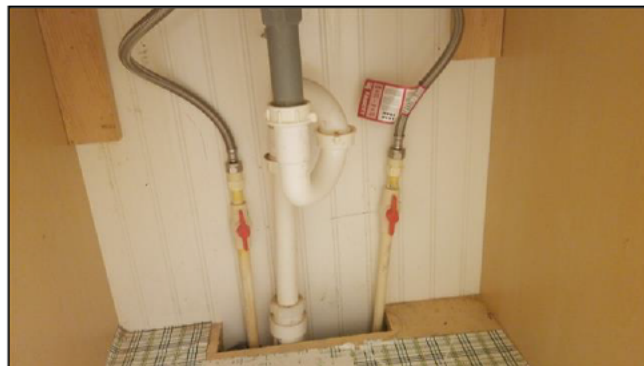
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**Comments:**

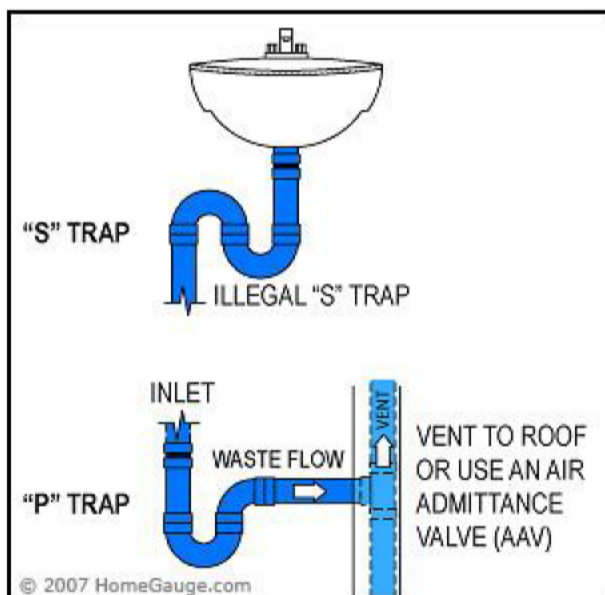
**6.0 (1)** A trap beneath a sink at the shown locations was of a type called an "S-trap". S-traps are no longer allowed to be installed in new construction for safety reasons. A siphon can develop which empties the trap of water; a condition with the potential to allow toxic sewer gas to enter the living space. Although this type of trap may have been commonly considered safe at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. The Inspector recommends replacement of all such traps in the home by a qualified plumbing contractor.



6.0 Kitchen



6.0 hall bath



6.0 S Trap



**6.0 (2)** The sink in the powder room was slow to drain. This is typically due to a clogged trap but may also indicate a blockage of the waste pipe. You may wish to have this condition investigated by a licensed plumbing contractor.



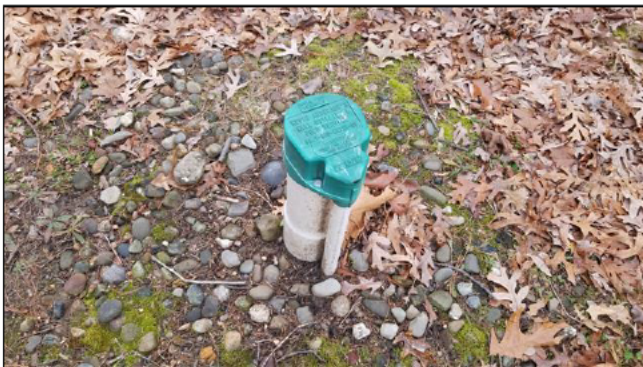
6.0 hall bath

**6.1 (1)** The General Home Inspection is a visual inspection of the home systems and their visible, accessible components. I evaluate drain pipes by operating and observing each operable home plumbing fixture to ensure proper drainage at each fixture at the time of the inspection. Blockages can occur between the time the home is inspected and the time you move in, sometimes due to cleaning activities.

Blockages will eventually occur, usually relative in severity to the age of the plumbing system, and will range from minor blockages of branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main sewer line. Minor blockages are usually easily cleared, either by chemical or mechanical means or by removing and cleaning the traps.

The Inspector recommends that you ask the sellers if they have ever experienced any drainage problems. If the home is older, you may wish to have the main waste line video-scanned before the expiration of your Inspection Objection Deadline, as replacement can be expensive.

**6.1 (2)** The home is supplied by well water. This is for your information



6.1

**6.1 (3)** Water distribution pipes in the Crawlspace are subject to damage from freezing temperatures. Freezing can cause pipes to burst and leak, with the potential for flooding and water damage to home materials. The Inspector recommends that action be taken to protect pipes from freezing



6.1

**6.1 (4)** Seal escutcheon plate in master bedroom shower to prevent moisture intrusion. All work should be performed by a licensed plumber.

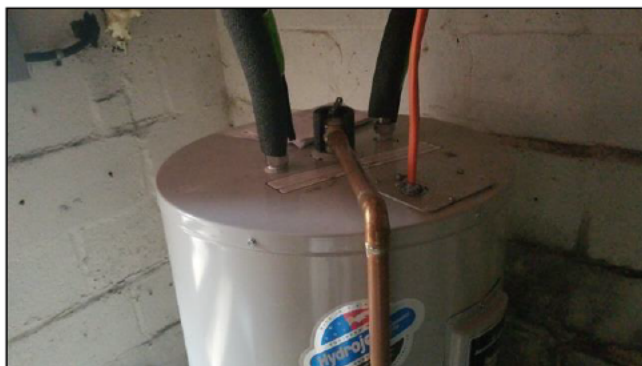


6.1

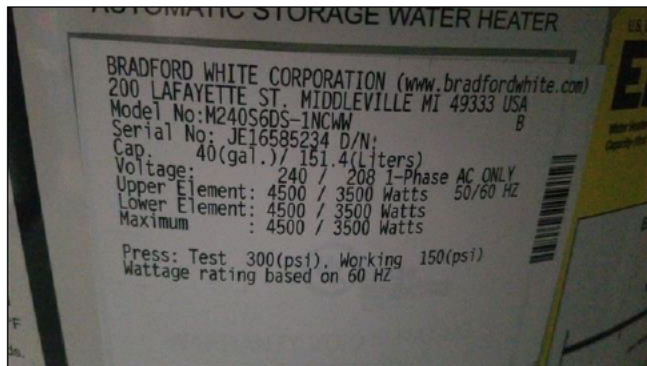
**6.2** Hot water measured approximately 125 degrees at the time of inspection. The home is supplied by a Bradford White Water Heater with a capacity of 40 gallons. This unit was manufactured in approximately 2012.



6.2



6.2



6.2 Water Heater Model and Serial Number

6.3 The main shut off is the lever located underneath in the crawlspace. This is for your information.

6.4 There is an exposed gas line on the exterior of the garage. It appears that this supplied gas to the previously installed garage heater. It does not appear that this line is In use but I am on able to determine. Recommend further evaluation by a licensed plumber to ensure that this line is properly abandoned.



6.4

6.5 The main fuel shut off is at gas meter outside



6.5



.....

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



## 7. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

### Styles & Materials

<b>Electrical Service Conductors:</b>	<b>Panel capacity:</b>	<b>Panel Type:</b>
Overhead service	150 AMP	Circuit breakers
<b>Electric Panel Manufacturer:</b>	<b>Branch wire 15 and 20 AMP:</b>	<b>Wiring Methods:</b>
SIEMENS	Copper	Romex

		IN	NI	NP	RR
7.0	Service Entrance Conductors	•			
7.1	Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels				•
7.2	Branch Circuit Conductors, Overcurrent Devices and Compatibility of their Amperage and Voltage	•			
7.3	Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)				•
7.4	Polarity and Grounding of Receptacles within 6 feet of interior plumbing fixtures, all receptacles in garage, carport and exterior walls of inspected structure				•
7.5	Operation of GFCI (Ground Fault Circuit Interrupters)	•			
7.6	Location of Main and Distribution Panels	•			
7.7	Smoke Detectors		•		
7.8	Carbon Monoxide Detectors		•		
		IN	NI	NP	RR

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**Comments:**

**7.0** Inspection of the meter housing is beyond the scope of a home inspection. If you have concerns, contact the local utility company for further evaluation of the meter and components.



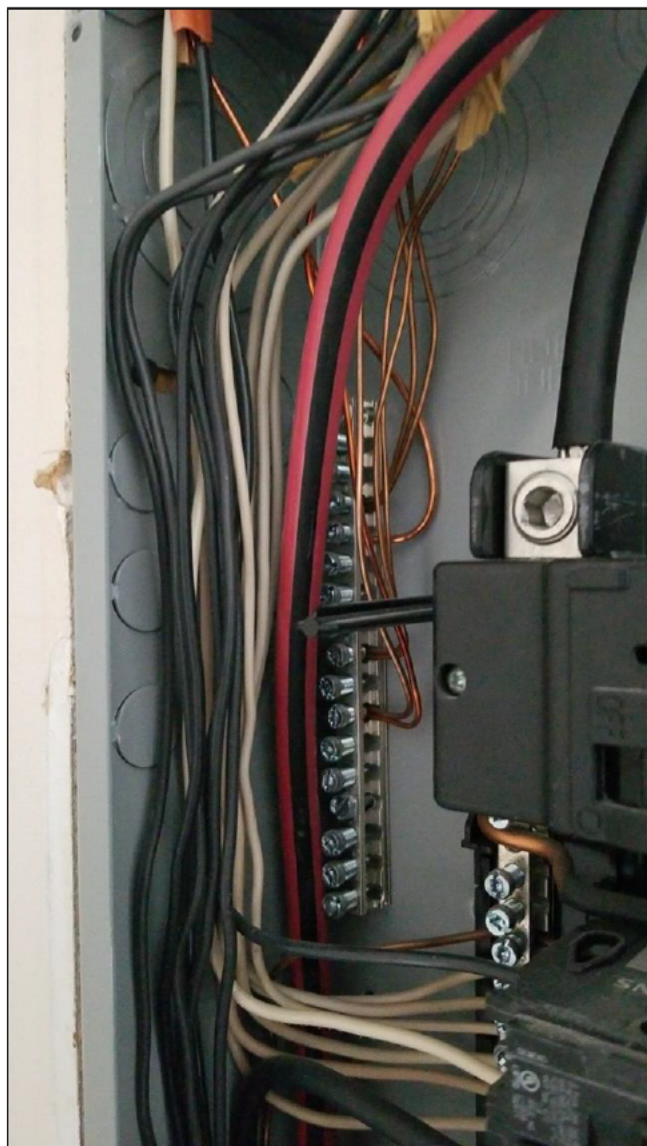
7.0

**7.1 (1)** The main distribution panel is located in the master bedroom with a capacity of 150 amps.

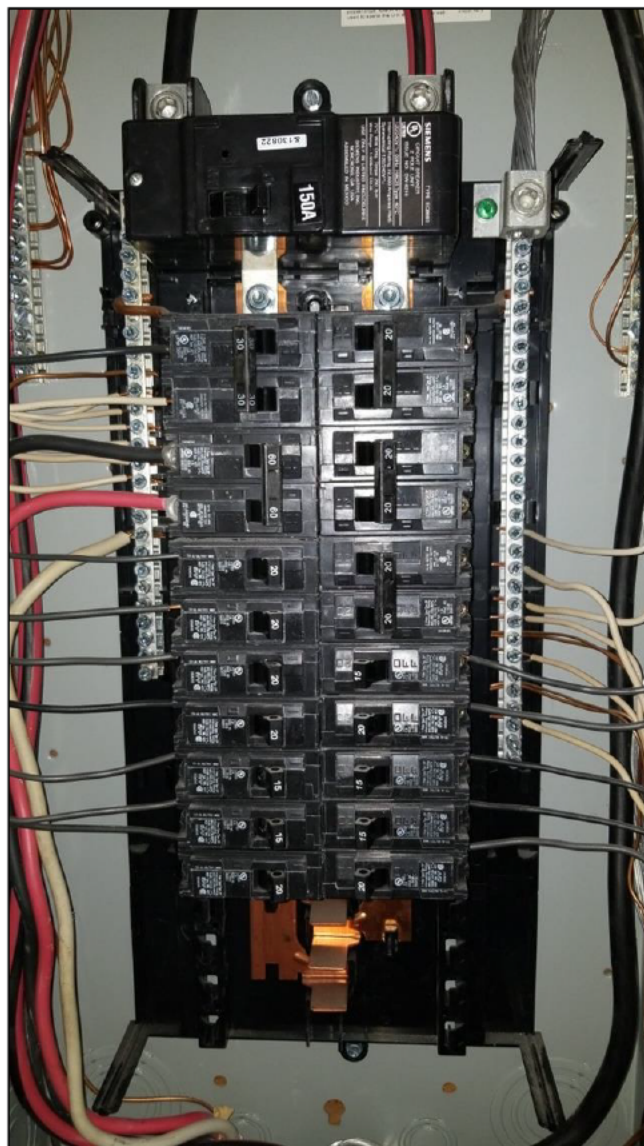


7.1

7.1 (2) For the main panel in the master bedroom, I could not locate the ground wire. The ground wire may not be present or could be hidden from view by construction materials. I recommend an electrical contractor verify or install a ground wire.



7.1



7.1

7.1 (3) There is a GE sub panel located in the garage . This is for your information. The service disconnect for this sub panel appears to be in the kitchen sub panel behind the cabinet to the left of sink.



7.1

7.1 (4) There is a cartridge fuse subpanel in the crawlspace. This is outdated and replacement should be considered by a licensed electrician.



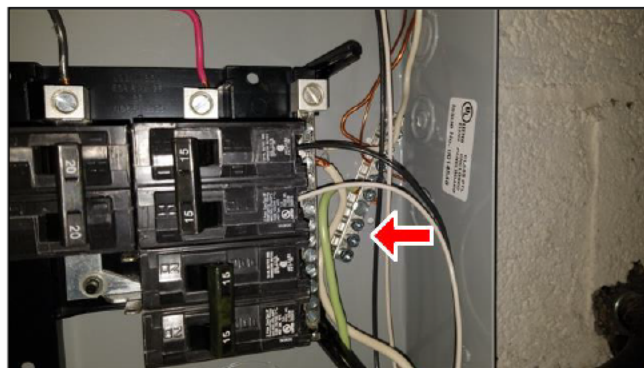
7.1

7.1 (5) There is a Siemens sub panel located in the crawl space.

The grounding bar should be properly secured as this is a hazard in its current state. All work should be performed by a licensed electrical contractor.



7.1 Siemens Subpanel in Crawlspace



7.1 Grounding bar should be properly secured to panel

7.1 (6) There is a subpanel located in the kitchen and behind the kitchen cabinet.



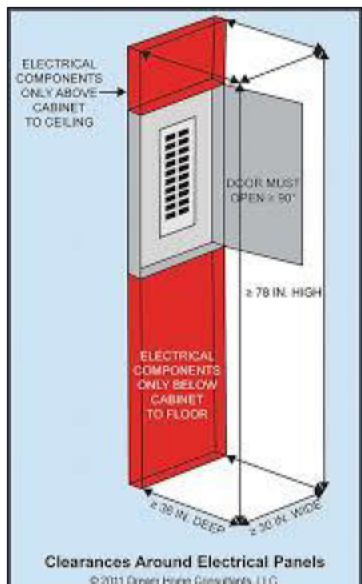
This panel cabinet had inadequate working clearance in front. Modern safety standards require a minimum open space 30 inches in width for a height of 6 feet-6 inches. Minimum clearance in front of the cabinet should be 3 feet. The Inspector recommends correction by a qualified contractor. See illustration for further detail.



7.1



7.1



7.1 Panel Access

7.3 (1) An energized electric cable is exposed at the shown location. This is a hazard that can result in shock or electrocution. This should be properly encased. Please have this, as well as any other electrical deficiency observed in the crawlspace at the time of the repair, corrected by a licensed electrician.



7.3 crawlspace



7.3 crawlspace

7.3 (2) Poorly supported wires visible in the crawlspace should be properly fastened. Safe building practices require branch conductors to be supported at intervals no greater than 4 feet-6 inches. The Inspector recommends correction by a qualified contractor.



7.3

7.3 (3) Shown outlets were not working at the time of inspection. Further inspection is needed by a licensed electrical contractor. A licensed electrical contractor should perform repairs that involve wiring.



7.3 Rear master bedroom rear wall

7.3 (4) An electrical outlet in the shown location had an open neutral that should be corrected by a qualified electrical contractor.

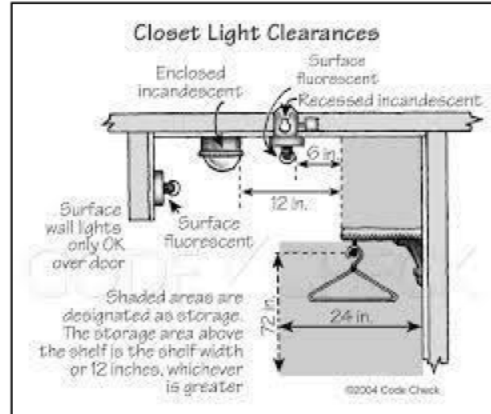


7.3 Front left bedroom Left wall

**7.3 (5)** A light in the upstairs bedroom closet was not enclosed. For safety reasons, incandescent light bulbs should be covered as show in the associated illustration. Please have this corrected by a licensed electrician.



7.3 Front right bedroom



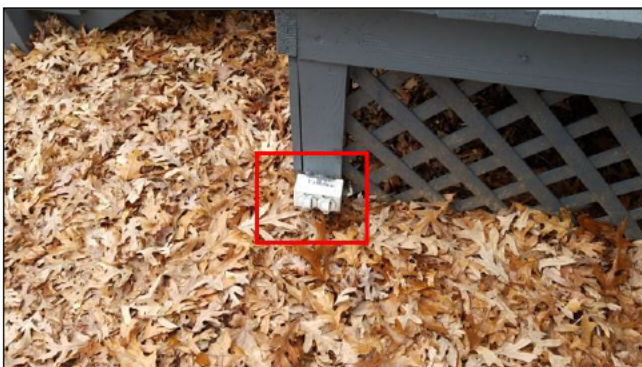
7.3 Closet Light Illustration

**7.4 (1)** No Ground Fault Circuit Interrupter (GFCI) breakers were provided at the shown locations at the time of inspection.

For safety reasons, consider upgrading the electrical system to include GFCI protection of electrical circuits serving the following locations:

- Bathrooms
- The home exterior
- Garages
- Crawlspace (at or below grade)
- Unfinished basements
- Kitchens

All work should be performed by a licensed electrician.



7.4 Front of Home



7.4 Garage

**7.4** (2) Multiple Garage receptacles have an open ground. This is a safety hazard and can cause shock or electrocution. Please have this corrected by a licensed electrician.

**7.6** The main panel is located in the master bedroom.

A subpanel is located in the kitchen.

A subpanel is located in the garage.

Two subpanels are located in the crawlspace (one is of cartridge fuse type).

**7.7** All smoke detectors should be tested upon moving into home. It is also recommended that batteries be changed.

**7.8** All carbon monoxide detectors should be tested upon moving into home. It is also recommended that batteries be changed.

If none are found, please purchase one and install per manufactures recommendations.

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or access ble. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 8. Heating / Central Air Conditioning

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

### Styles & Materials

<b>Heat Type:</b> Forced Air	<b>Energy Source:</b> Gas	<b>Number of Heat Systems (excluding wood):</b> One
<b>Heat System Brand:</b> DUCANE	<b>Ductwork:</b> Insulated	<b>Filter Type:</b> N/A
<b>Filter Size:</b> N/A	<b>Types of Fireplaces:</b> None	<b>Operable Fireplaces:</b> None
<b>Number of Woodstoves:</b> None	<b>Cooling Equipment Type:</b> Air conditioner unit	<b>Cooling Equipment Energy Source:</b> Electricity
<b>Central Air Manufacturer:</b> GOODMAN	<b>Number of AC Only Units:</b> One	

		IN	NI	NP	RR
8.0	Heating Equipment	•			
8.1	Normal Operating Controls	•			
8.2	Automatic Safety Controls	•			
8.3	Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)				•
8.4	Presence of Installed Heat Source in Each Room	•			
8.5	Chimneys, Flues and Vents (for fireplaces, gas water heaters or heat systems)	•			
8.6	Solid Fuel Heating Devices (Fireplaces, Woodstove)			•	
8.7	Gas/LP Firelogs and Fireplaces			•	
8.8	Cooling and Air Handler Equipment				•
8.9	Normal Operating Controls		•		
8.10	Presence of Installed Cooling Source in Each Room		•		
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



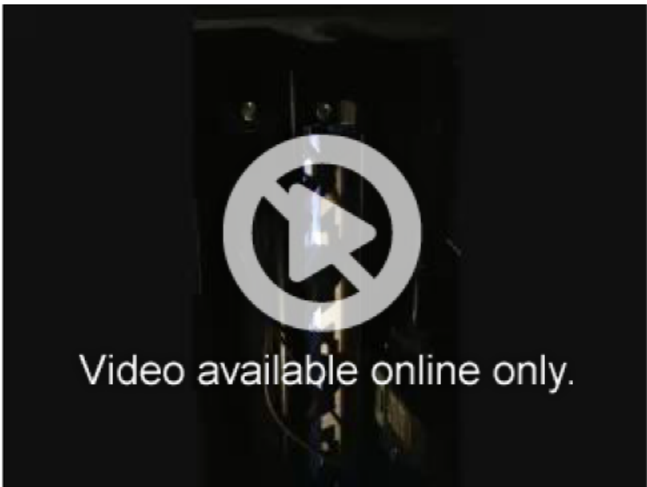


Comments:

8.0 Ducane heater unit located in the Attic above second floor. The unit was manufactured in 2005 and is approximately 15 years old. Although the unit appeared to be in serviceable condition at the time of inspection, it is nearing the end of its expected design life and replacement may be required.



8.0



8.0



8.0 Model and Serial Number



8.3 The plenum needs support straps in the crawlspace. Besides energy loss, damage to duct pipe is large enough to allow insects or critters to enter through ductwork. I recommend service or repair as needed.



8.3

8.4 All heat registers measured over a hundred degrees at the time of inspection.

Please be aware that the kitchen is supplied by an electric baseboard heater which was operating properly at the time of inspection.



8.4

8.8 (1) Goodman air condenser manufactured in approximately 2012.



8.8



8.8

**8.8 (2)** Insulation on the air-conditioning suction (large, insulated) line was damaged or missing at areas and should be replaced by a licensed HVAC contractor.



8.8

**8.8 (3)** Please note that the A/C was not tested for proper operation due to the outside air temperature being 65 degrees or less. The reason behind this prohibition is the oil used to lubricate the compressor is a weight that does not lubricate well when it is cold. The lubricant for an air conditioner is not unlike the lubricant for your car. There are different grades like summer-weight and winter-weight. The summer-weight oil used in the standard air conditioner is a heavy grade oil and only works well in the warmer months or during warmer conditions. In cold weather, the oil is too thick for safe operation of the system.

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



9. Insulation and Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

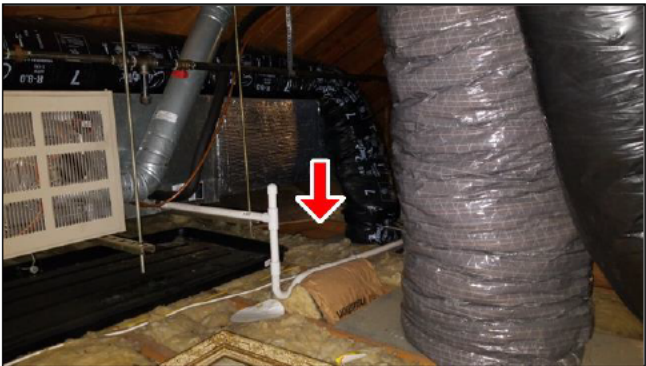
<b>Attic Insulation:</b>	<b>Ventilation:</b>	<b>Exhaust Fans:</b>
Batt	Gable vents	Fan only
<b>Dryer Power Source:</b>	<b>Dryer Vent:</b>	<b>Floor System Insulation:</b>
220 Electric	Metal	Batts

		IN	NI	NP	RR
9.0	Insulation in Attic				•
9.1	Insulation Under Floor System				•
9.2	Vapor Retarders (in Crawlspace or basement)	•			
9.3	Ventilation of Attic and Foundation Areas	•			
9.4	Venting Systems (Kitchens, Baths and Laundry)				•
9.5	Ventilation Fans and Thermostatic Controls in Attic			•	
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

9.0 The attic was missing insulation in some areas. This condition can result in increased heating and cooling costs, reduced comfort levels and may contribute to ice damming of the roof during the winter. The Inspector recommends that insulation be properly distributed to cover all portions of the attic located above the home living space. All work should be performed by a qualified contractor



9.0

**9.1** The insulation is loose/fallen in the crawlspace. Insulation that has fallen to the ground or has become damp from the ground or from condensation usually needs to be replaced with new insulation. A qualified person should repair or replace as needed.



9.1

**9.4** The dryer vent should be cleaned as build up of lint is visible and can cause a fire. Recommend this be done immediately and prior to use of the appliance.



9.4

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 10. Built-In Kitchen Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

### Styles & Materials

**Dishwasher Brand:**

WHIRLPOOL

**Disposer Brand:**

NONE

**Exhaust/Range hood:**

RE-CIRCULATE

**Range/Oven:**

WHIRLPOOL

**Built in Microwave:**

NONE

**Trash Compactors:**

NONE

		IN	NI	NP	RR
10.0	Dishwasher	•			
10.1	Ranges/Ovens/Cooktops	•			
10.2	Range Hood (s)	•			
10.3	Trash Compactor		•		
10.4	Food Waste Disposer			•	
10.5	Microwave Cooking Equipment			•	
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

### Comments:

**10.1** The range and oven operated properly at the time of inspection.

The range was not fastened to the floor. A child standing on the open oven door could overturn the range. This condition is a life-safety issue. The Inspector recommends installation of an approved anti-tip device by a qualified contractor.

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## General Summary



LDG Home Inspection, LLC

24 Millbridge Road  
Clementon, NJ 08021  
609-374-5648

Customer

Address

The following items or discoveries indicate that these systems or components **do not function as intended or adversely affects the habitability of the dwelling; or warrants further investigation by a specialist, or requires subsequent observation.** This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

### 1. Roofing

#### 1.2 Skylights, Chimneys and Roof Penetrations

##### Repair or Replace

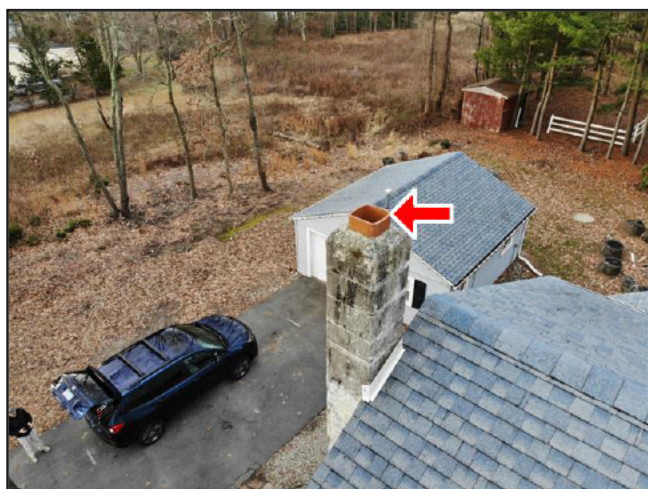
(1) Flashing is not properly seated around the furnace flue located on the rear roof of the main home. This can cause moisture intrusion which can damage the underlying structure. This should be repaired by a qualified contractor.





1.2

(2) The chimney(s) had no spark arrestor/weather cap. The Inspector recommends that all chimneys have an approved spark arrestor/weather cap installed by a qualified contractor to prevent pest entry and to help protect the roof-covering materials from potential chimney-source ignition.



1.2

### 1.3 Roof Drainage Systems

#### Repair or Replace

Debris visible in the gutters at the time of the inspection should be removed to encourage proper drainage.



1.3



2. Exterior



2.2 Windows

Repair or Replace

Windows around the exterior of the home were caulked. Caulking usually breaks down over time and can result in moisture intrusion effecting the underlying structure and interior. It is recommend that all windows be maintained on a periodic basis to prevent deterioration. This is a maintenance issue and is for your information.



2.2 left side (facing front)&#160;



2.2 garage&#160;

2.3 Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings

Repair or Replace

(1) This staircase at front of home did not meet generally-accepted modern safety standards that specify the proper the size and dimensions of a grippable handrail. It is recommended that one be installed by a qualified contractor.



2.3



2.3 Handrail

(2) The inspector recommends installation of both a guardrail and graspable handrail at the Rear Deck Steps. This is considered a safety hazard as someone can fall from the landing and be injured. Recommend that all work be performed by a qualified contractor.



2.3 rear of home





**2.4 Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)**

**Repair or Replace**

(1) Downspout is disconnected on rear of home. This should be repaired to allow proper flow of roof drainage away from the foundation perimeter.



2.4

(2) Shrubs have been constructed near the exterior walls. Water for plants/shrubs will eventually soak into soil and may reach soil supporting the foundation. Excessively high moisture levels in soil supporting the foundation can effect its ability to support the weight of the structure above. The Inspector recommends removal of any shrubbery or plants near the foundation or re-planting with vegetation which has low water requirements.

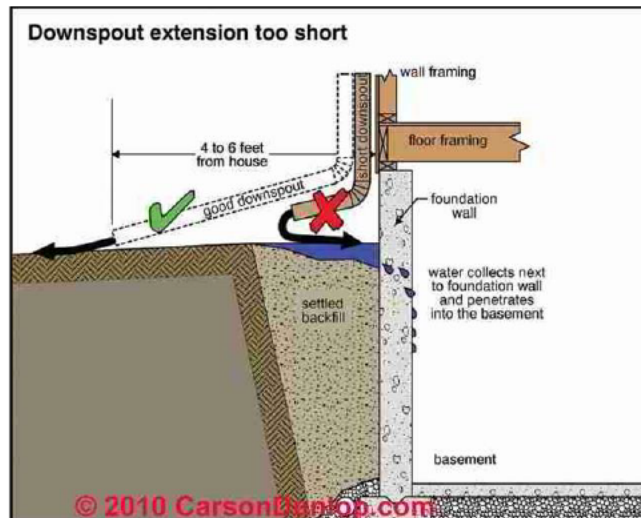


2.4

(3) One or more downspouts discharged roof drainage next to the foundation. This condition can effect the ability of the soil to support the weight of the structure above and can cause damage related to soil/foundation movement. The Inspector recommends the installation of downspout extensions to discharge roof drainage a minimum of 6 feet from the foundation.



2.4



2.4 Downspout Extension

(4) The concrete walkway at the front of home uneven, and can be a tripping hazard. A fall or injury can occur if not corrected. A qualified person should repair or replace as needed.



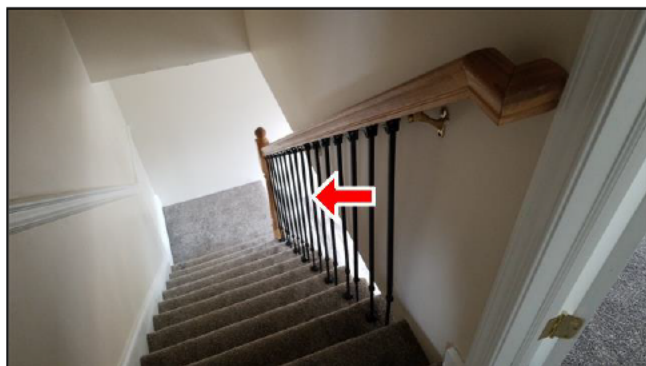
2.4

## 4. Interiors

### 4.3 Steps, Stairways, Balconies and Railings

#### Repair or Replace

A horizontal guardrail assembly protecting this stairwell had spaces between handrail components that allowed the passage of a 4-inch sphere. To improve child safety, the Inspector recommends altering the guardrail assembly in a manner which will prevent the passage of a 4-inch sphere. This dimension includes areas beneath and to the sides of the guardrail. The Inspector recommends that this condition be updated to meet generally-accepted modern safety standards by a qualified contractor.



4.3





5. Structural Components

5.0 Foundations, Basement and Crawlpace (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Repair or Replace

Evidence of previous termite treatment where bait was inserted into the concrete block. Recommend treatment for Wood Destroying Insects (WDI) by a qualified contractor.



5.0

5.5 Roof Structure and Attic

Repair or Replace

Gable end sheathing had areas of discoloration near the eaves. This may be due to a prior or active leak or the discoloration may be due to condensation. The inspector recommends that the sheathing be further evaluated by a qualified contractor who can recommend a solution to avoid further deterioration.



5.5



5.5



5.5

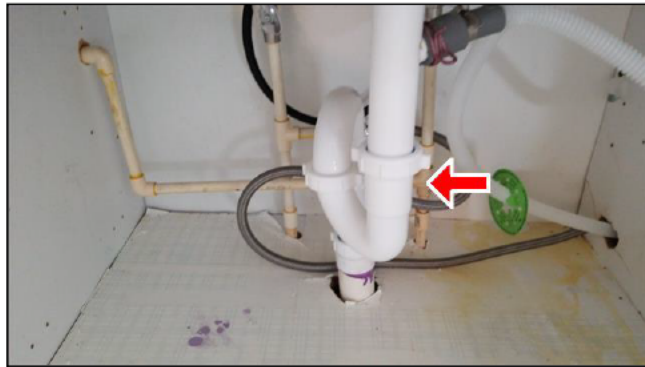


## 6. Plumbing System

### 6.0 Plumbing Drain, Waste and Vent Systems

#### Repair or Replace

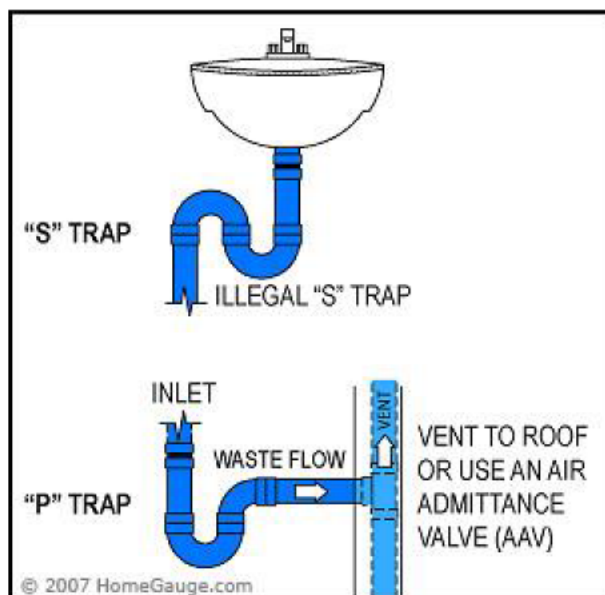
(1) A trap beneath a sink at the shown locations was of a type called an "S-trap". S-traps are no longer allowed to be installed in new construction for safety reasons. A siphon can develop which empties the trap of water; a condition with the potential to allow toxic sewer gas to enter the living space. Although this type of trap may have been commonly considered safe at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. The Inspector recommends replacement of all such traps in the home by a qualified plumbing contractor.



6.0 Kitchen



6.0 hall bath



6.0 S Trap

(2) The sink in the powder room was slow to drain. This is typically due to a clogged trap but may also indicate a blockage of the waste pipe. You may wish to have this condition investigated by a licensed plumbing contractor.



6.0 hall bath

## 6.1 Plumbing Water Supply, Distribution System and Fixtures

### Repair or Replace

(1) The General Home Inspection is a visual inspection of the home systems and their visible, accessible components. I evaluate drain pipes by operating and observing each operable home plumbing fixture to ensure proper drainage at each fixture at the time of the inspection. Blockages can occur between the time the home is inspected and the time you move in, sometimes due to cleaning activities.

Blockages will eventually occur, usually relative in severity to the age of the plumbing system, and will range from minor blockages of branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main sewer line. Minor blockages are usually easily cleared, either by chemical or mechanical means or by removing and cleaning the traps.

The Inspector recommends that you ask the sellers if they have ever experienced any drainage problems. If the home is older, you may wish to have the main waste line video-scanned before the expiration of your Inspection Objection Deadline, as replacement can be expensive.

(2) The home is supplied by well water. This is for your information



6.1

(3) Water distribution pipes in the Crawl space are subject to damage from freezing temperatures. Freezing can cause pipes to burst and leak, with the potential for flooding and water damage to home materials. The Inspector recommends that action be taken to protect pipes from freezing



6.1

(4) Seal escutcheon plate in master bedroom shower to prevent moisture intrusion. All work should be performed by a licensed plumber.



6.1

#### 6.4 Fuel Storage and Distribution Systems (Interior fuel storage, piping, venting, supports, leaks)

##### Repair or Replace

There is an exposed gas line on the exterior of the garage. It appears that this supplied gas to the previously installed garage heater. It does not appear that this line is in use but I am not able to determine. Recommend further evaluation by a licensed plumber to ensure that this line is properly abandoned.



6.4

## 7. Electrical System

#### 7.1 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels

##### Repair or Replace

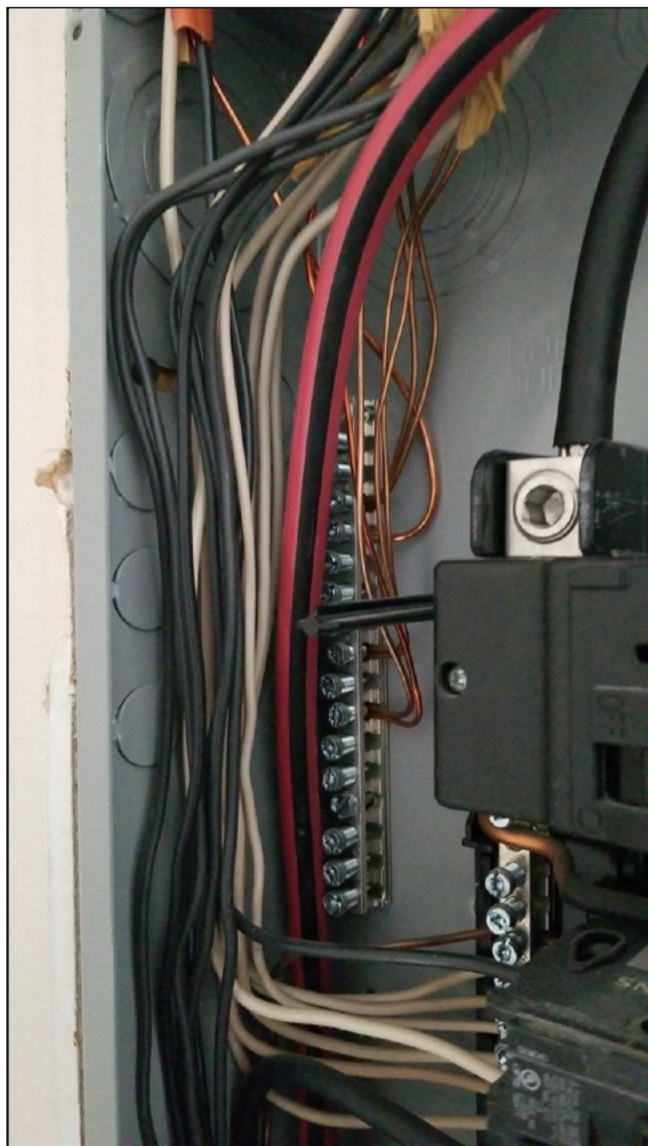
(1) The main distribution panel is located in the master bedroom with a capacity of 150 amps.



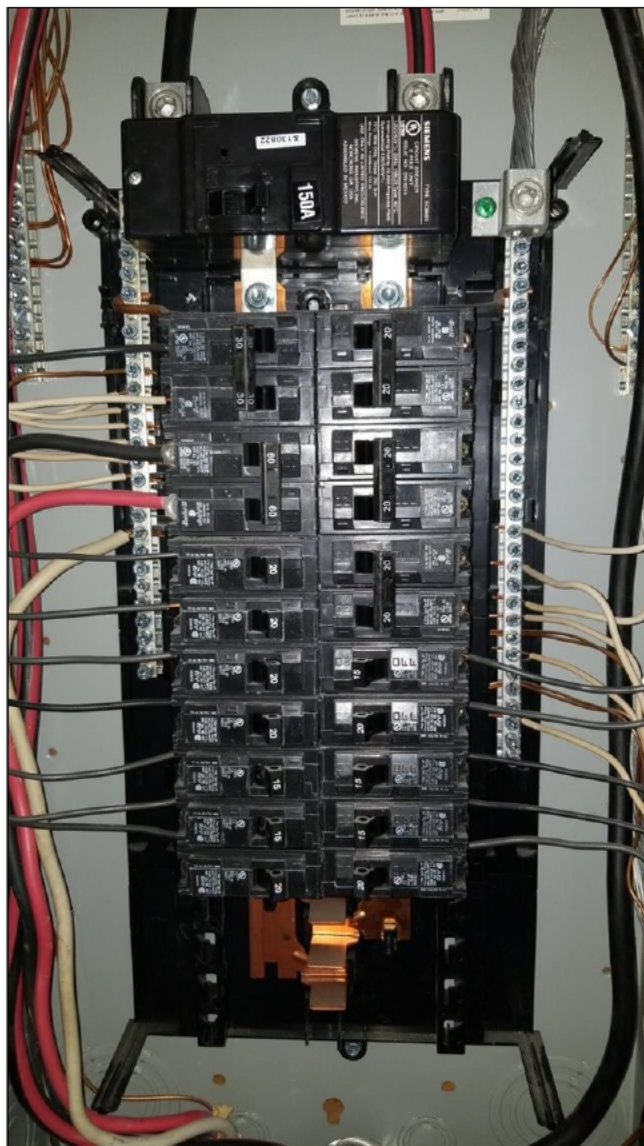


7.1

(2) For the main panel in the master bedroom, I could not locate the ground wire. The ground wire may not be present or could be hidden from view by construction materials. I recommend an electrical contractor verify or install a ground wire.



7.1



7.1

(3) There is a GE sub panel located in the garage . This is for your information. The service disconnect for this sub panel appears to be in the kitchen sub panel behind the cabinet to the left of sink.



7.1

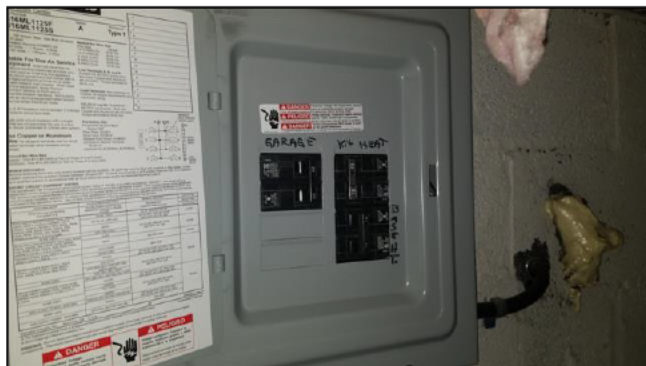
(4) There is a cartridge fuse subpanel in the crawlspace. This is outdated and replacement should be considered by a licensed electrician.



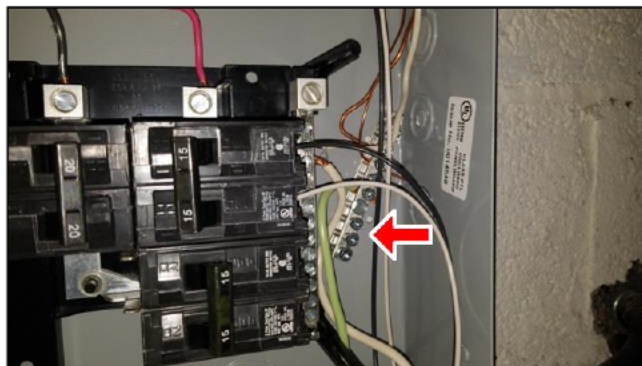
7.1

(5) There is a Siemens sub panel located in the crawl space.

The grounding bar should be properly secured as this is a hazard in its current state. All work should be performed by a licensed electrical contractor.



7.1 Siemens Subpanel in Crawlspace



7.1 Grounding bar should be properly secured to panel

(6) There is a subpanel located in the kitchen and behind the kitchen cabinet.

This panel cabinet had inadequate working clearance in front. Modern safety standards require a minimum open space 30 inches in width for a height of 6 feet-6 inches. Minimum clearance in front of the cabinet should be 3 feet. The Inspector recommends correction by a qualified contractor. See illustration for further detail.

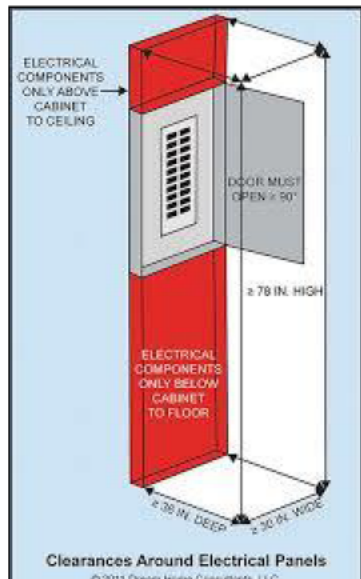




7.1



7.1



7.1 Panel Access

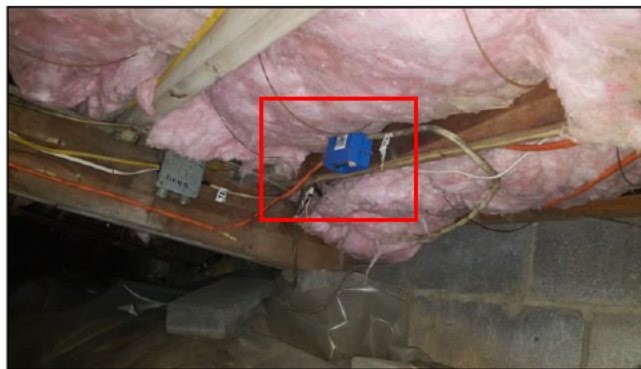
**7.3 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)**

**Repair or Replace**

(1) An energized electric cable is exposed at the shown location. This is a hazard that can result in shock or electrocution. This should be properly encased. Please have this, as well as any other electrical deficiency observed in the crawlspace at the time of the repair, corrected by a licensed electrician.



7.3 crawlspace



7.3 crawlspace

(2) Poorly supported wires visible in the crawlspace should be properly fastened. Safe building practices require branch conductors to be supported at intervals no greater than 4 feet-6 inches. The Inspector recommends correction by a qualified contractor.



7.3

(3) Shown outlets were not working at the time of inspection. Further inspection is needed by a licensed electrical contractor. A licensed electrical contractor should perform repairs that involve wiring.



7.3 Rear master bedroom rear wall

(4) An electrical outlet in the shown location had an open neutral that should be corrected by a qualified electrical contractor.



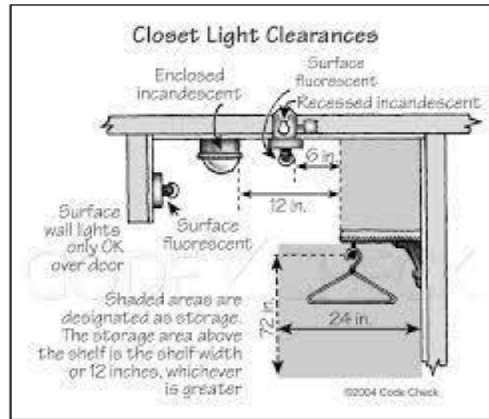
7.3 Front left bedroom Left wall

(5) A light in the upstairs bedroom closet was not enclosed. For safety reasons, incandescent light bulbs should be covered as show in the associated illustration. Please have this corrected by a licensed electrician.





7.3 Front right bedroom



7.3 Closet Light Illustration

#### 7.4 Polarity and Grounding of Receptacles within 6 feet of interior plumbing fixtures, all receptacles in garage, carport and exterior walls of inspected structure

##### Repair or Replace

(1) No Ground Fault Circuit Interrupter (GFCI) breakers were provided at the shown locations at the time of inspection.

For safety reasons, consider upgrading the electrical system to include GFCI protection of electrical circuits serving the following locations:

- Bathrooms
- The home exterior
- Garages
- Crawlspace (at or below grade)
- Unfinished basements
- Kitchens

All work should be performed by a licensed electrician.



7.4 Front of Home



7.4 Garage

(2) Multiple Garage receptacles have an open ground. This is a safety hazard and can cause shock or electrocution. Please have this corrected by a licensed electrician.

8. Heating / Central Air Conditioning

8.3 Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Repair or Replace

The plenum needs support straps in the crawlspace. Besides energy loss, damage to duct pipe is large enough to allow insects or critters to enter through ductwork. I recommend service or repair as needed.



8.3

8.8 Cooling and Air Handler Equipment

Repair or Replace

(1) Goodman air condenser manufactured in approximately 2012.



8.8



8.8

(2) Insulation on the air-conditioning suction (large, insulated) line was damaged or missing at areas and should be replaced by a licensed HVAC contractor.



8.8

(3) Please note that the A/C was not tested for proper operation due to the outside air temperature being 65 degrees or less. The reason behind this prohibition is the oil used to lubricate the compressor is a weight that does not lubricate well when it is cold. The lubricant for an air conditioner is not unlike the lubricant for your car. There are different grades like summer-weight and winter-weight. The summer-weight oil used in the standard air conditioner

is a heavy grade oil and only works well in the warmer months or during warmer conditions. In cold weather, the oil is too thick for safe operation of the system.

## 9. Insulation and Ventilation

### 9.0 Insulation in Attic

#### Repair or Replace

The attic was missing insulation in some areas. This condition can result in increased heating and cooling costs, reduced comfort levels and may contribute to ice damming of the roof during the winter. The Inspector recommends that insulation be properly distributed to cover all portions of the attic located above the home living space. All work should be performed by a qualified contractor



9.0

### 9.1 Insulation Under Floor System

#### Repair or Replace

The insulation is loose/fallen in the crawlspace. Insulation that has fallen to the ground or has become damp from the ground or from condensation usually needs to be replaced with new insulation. A qualified person should repair or replace as needed.



9.1

### 9.4 Venting Systems (Kitchens, Baths and Laundry)

#### Repair or Replace

The dryer vent should be cleaned as build up of lint is visible and can cause a fire. Recommend this be done immediately and prior to use of the appliance.





9.4

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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## **Report Attachments**

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments.

[NPMA-33 WDIIR](#)



**TO THE INSPECTOR:**

The preferred method for the inspection agreement is to use it with the Appointments feature through the HG Online Services. For information on this feature, please visit our Support Center, go to [www.homegauge.com](http://www.homegauge.com) and click on Support, HomeGauge Support Center. Or call Support at 828-254-2030.

If you are seeing this while viewing your report, close the print preview, click on File, Printing Options, click on the Print Option you are using (typically Full Report for Upload) and it will highlight blue, then click "Edit", and un-check the check mark for agreement, and click OK.

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